

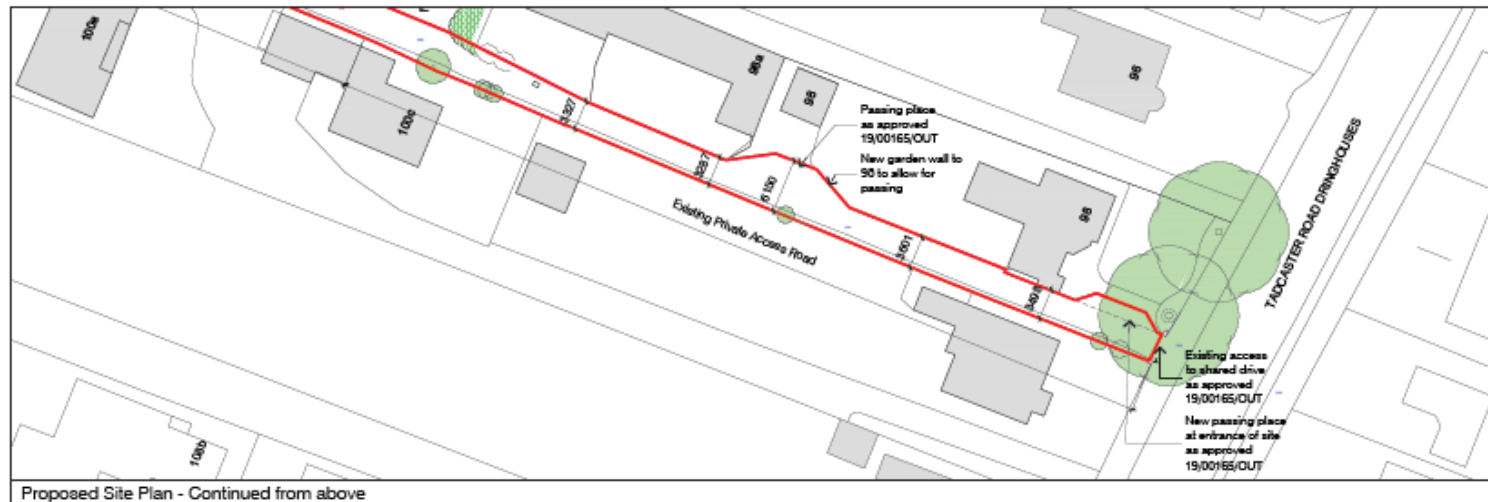
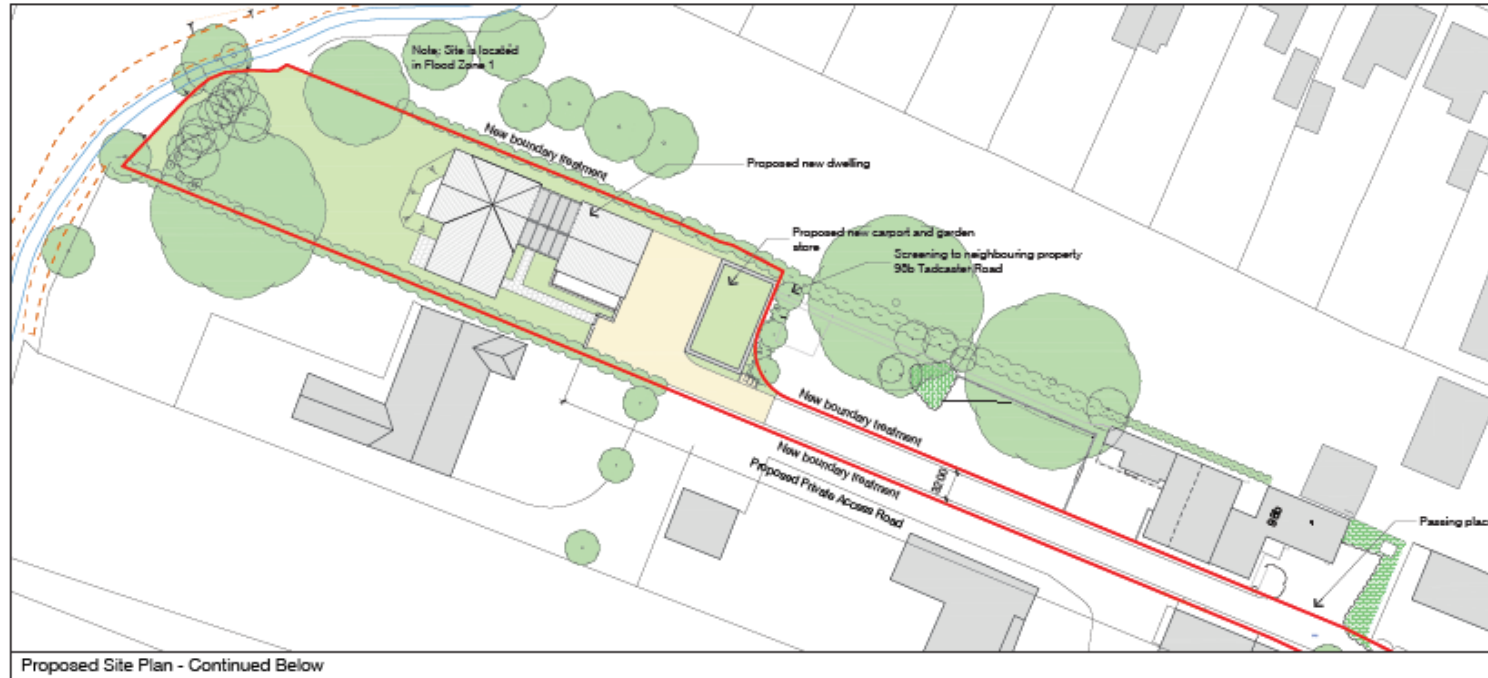


Area Planning Sub-Committee

20/00990/FUL

98B Tadcaster Road, Dringhouses

Site layout plan



Do not include this drawing
Drawing to be used in conjunction with the application document
Conditions of use: all dimensions are to be used as shown and any discrepancy is the responsibility of the applicant

N

Site Boundary

- FD1 08/04/20 Proposed scheme following pre-application advice
 - FD2 20/12/20 "Detailed" revised, not plan revised
 - FD3 12/04/21 Planning application submitted
- Version: 01/21 Date: 20/01/21

Vincent & Brown
 15, 16 & 17 Upper Boatman Park
 100 Bath Lane, Evington, York, YO22 2BP
 01904 770962 or info@vincentandbrown.com

PROJECT
 Proposed Development
 95B Tadcaster Road, York

DATE
 Proposed Site Plan

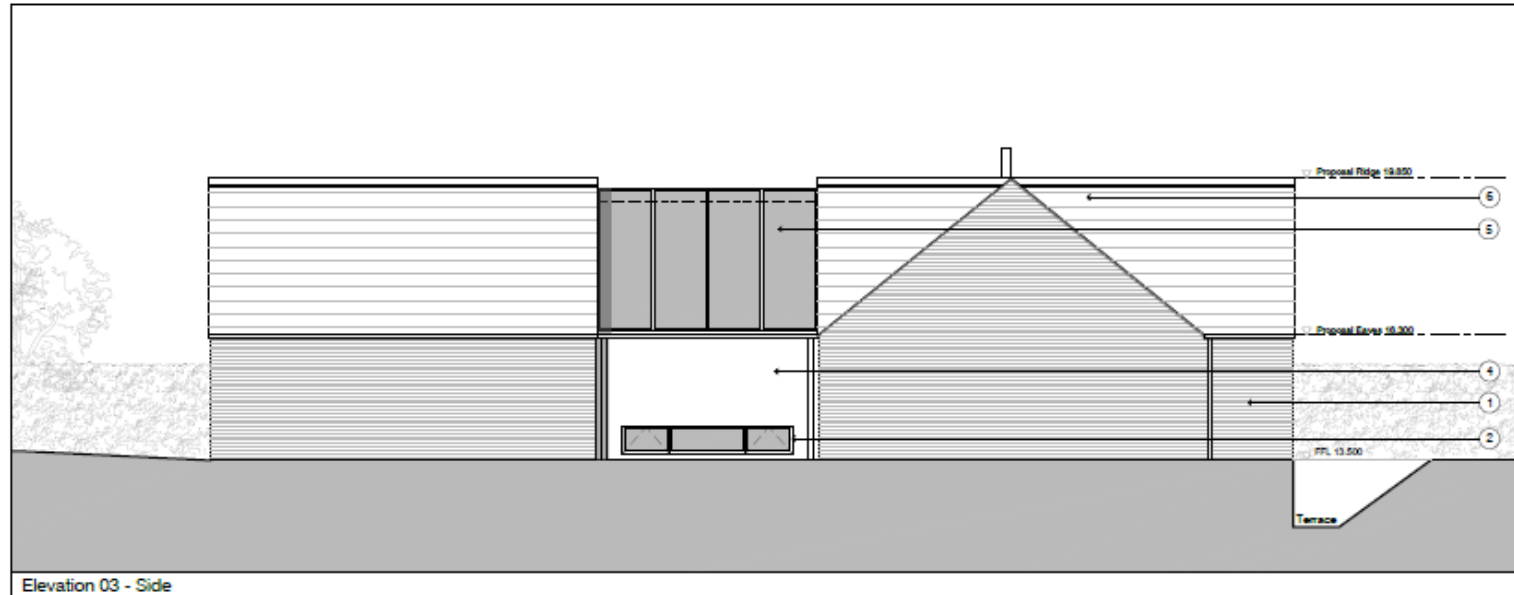
SCALE
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PLANNING NUMBER
 10011 06/06/20 Planning 105 P03

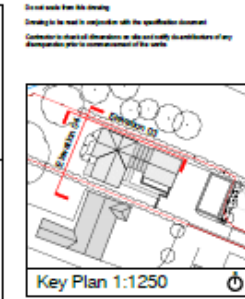
Proposed elevations
(rear and north side)



Elevation 04 - Rear



Elevation 03 - Side



- Material key:
- ① Facing brickwork.
 - ② Glazed windows.
 - ③ Bifold doors.
 - ④ Render.
 - ⑤ Glazed roof.
 - ⑥ Flat roof tile.
 - ⑦ Metal flue for log burner.
 - ⑧ Seamed zinc parapet.
 - ⑨ Timber gable.
 - ⑩ Glazed entrance door.
 - ⑪ Sliding patio doors with Juliet balcony.

100% 100% 100% 100% 100% 100% 100% 100% 100% 100%

Vincent & Brown
Studio 13, 104A Melrose Gardens Park
104A Melrose Gardens, Richmond, Surrey, TW9 1JG
t: 0208 719810 e: info@vincentandbrown.com

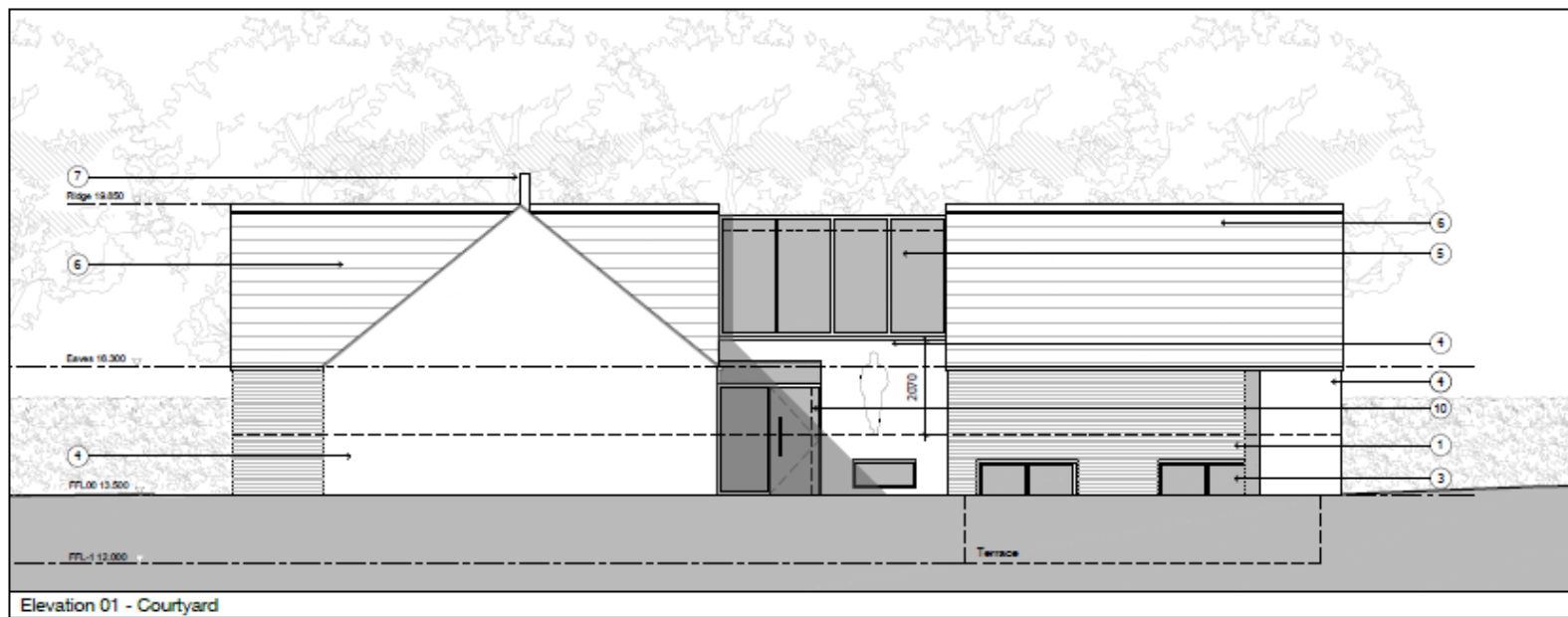
Project:
Proposed Development
98b Tadcaster Road

Area:
Proposed Elevations

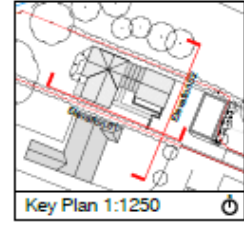
Scale:
1:200 @ A3

Project No: 18011 Date: 08/04/20 Planning: 131 P01

Proposed elevations
(front and south courtyard)



Do not scale from this drawing.
Drawings to be read in conjunction with the specification document.
Consultation sheet of dimensions or elevations with the architect or any other professional involved in the work.



- Material key:
- ① Facing brickwork.
 - ② Glazed windows.
 - ③ Bifold doors.
 - ④ Render.
 - ⑤ Glazed roof.
 - ⑥ Flat roof tile.
 - ⑦ Metal flue for log burner.
 - ⑧ Seamed zinc parapet.
 - ⑨ Timber gate.
 - ⑩ Glazed entrance door.
 - ⑪ Sliding patio doors with Juliet balcony.

POD 24/08/20 Material key and eave dimension added
P01 08/08/20 Revised eaves following pre-application advice
Author: ABW
Designer: ABW

Vincent & Brown
Studio 11, Millfield House, Eastlakes Park
The Bath Lane, Egham, Surrey, TW20 2ED
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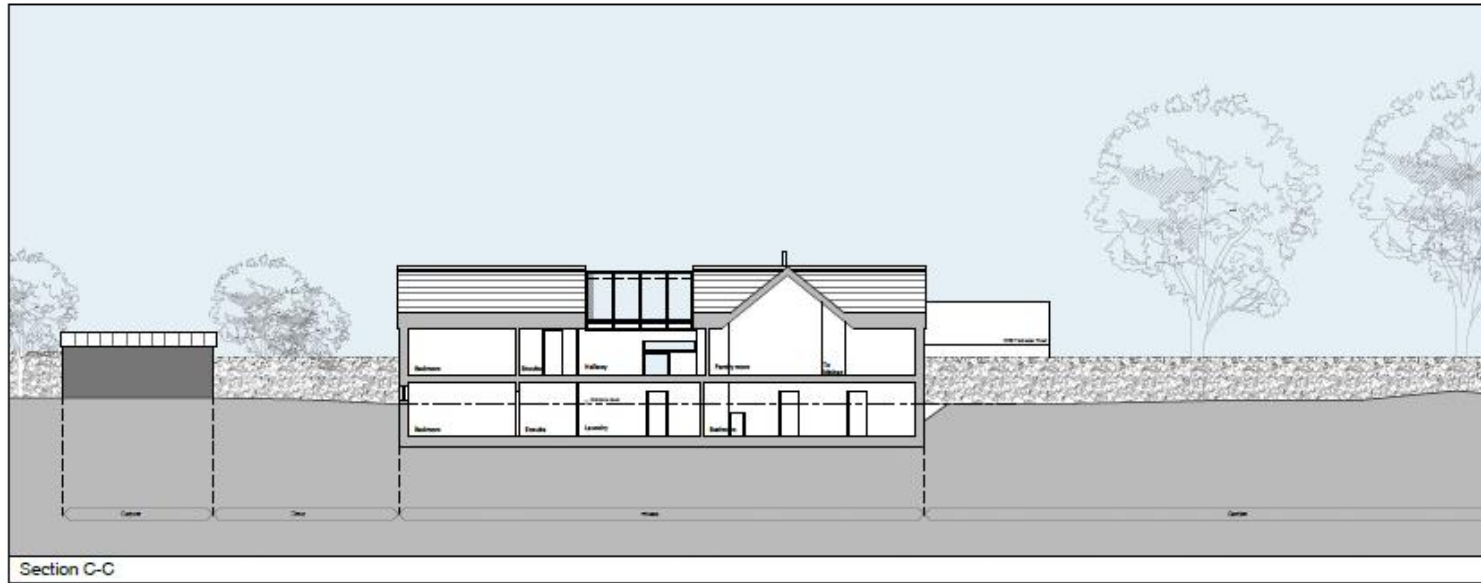
Project:
Proposed Development
98b Tadcaster Road

Drawing:
Proposed Elevations

Scale:
1:100 @ A3

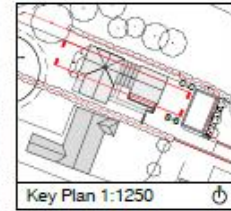
Client:
18011 24/08/20 Planning 130 POD

Proposed sections

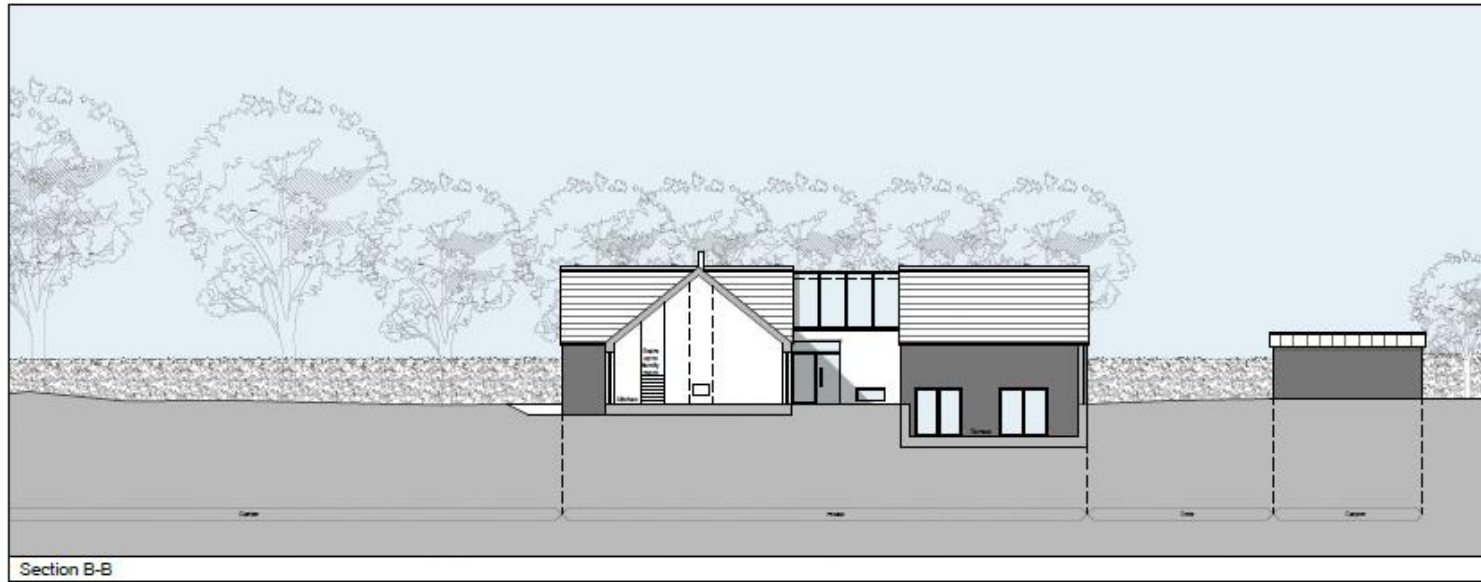


Section C-C

Do not scale from this drawing
 Drawing to be read in conjunction with the applicable documents
 Contractor to check all dimensions on site and notify the architect of any discrepancies prior to commencement of the works



Key Plan 1:1250



Section B-B

DK - 03/21 - Final Issue
 Author: DK
 Designer: DK

Vincent & Brown
 8 Wallis Dr, Middleborough Business Park
 One Tab Lane, Middleborough, MA, 01930
 P 508.947.9284 or vbrown@vincentandbrown.com

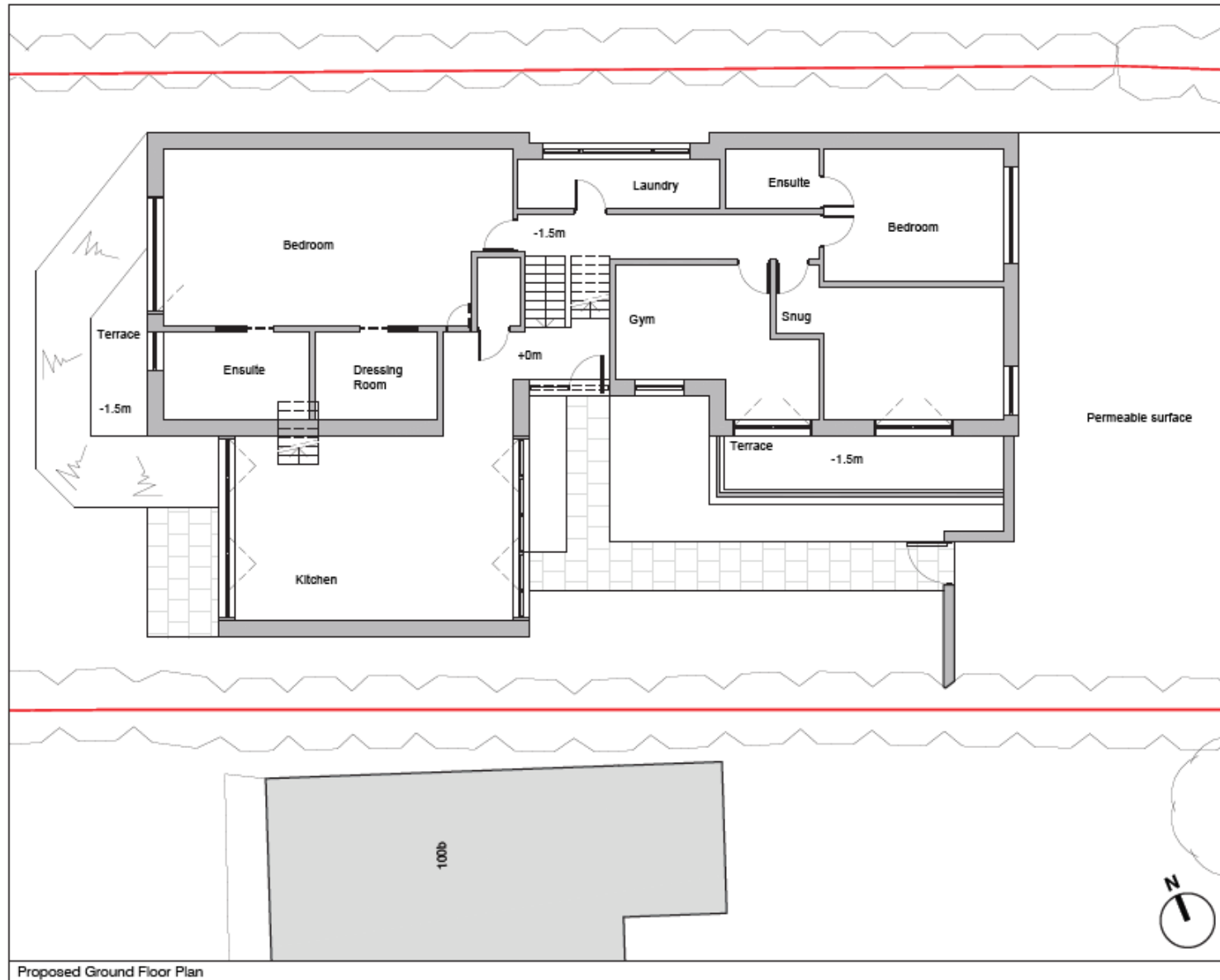
Plan:
 Proposed Development
 940 Tedcaster Road

Title:
 Proposed Sections

Scale:
 1:200 @ A3

NO.	REV.	DATE	DESCRIPTION
18011	13/01/21	Planning	151 P00

Lower floor plan



Ref	Date	Description
001	06/06/20	Proposed scheme drawing per applicant advice

Vincent & Brown
 Studio 112, 144 Middleway Business Park
 The 84 Lane, Bishop Cleeve, Nott. V23 2ED
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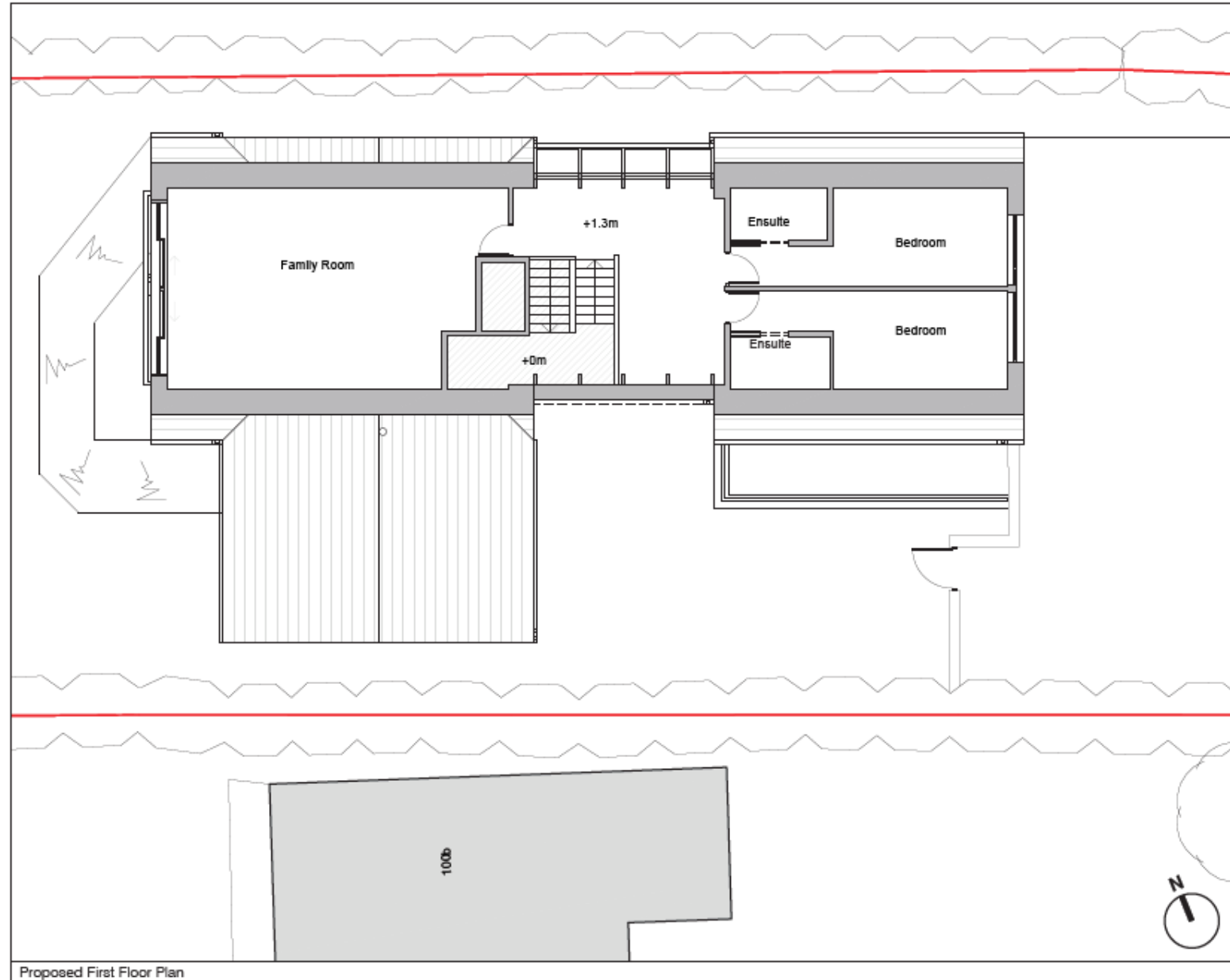
Project:
 Proposed Development
 99b Tedchester Road

Drawing:
 Proposed House Plan
 Ground Floor

Scale:
 1:1000 @ A3

Ref	Date	Issue	Drawing Number	Version
19011	06/06/20	Planning	110	P01

Upper floor plan



NO	DATE	REVISION / DESCRIPTION

Vincent & Brown
 Studio 13, 14 & 15 Upper Broomfield Park
 The B&B Lane, Broomfield, Park VIC3128
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Project:
 Proposed Development
 95b Tadcaster Road

Drawn by:
 Proposed House Plan
 First Floor

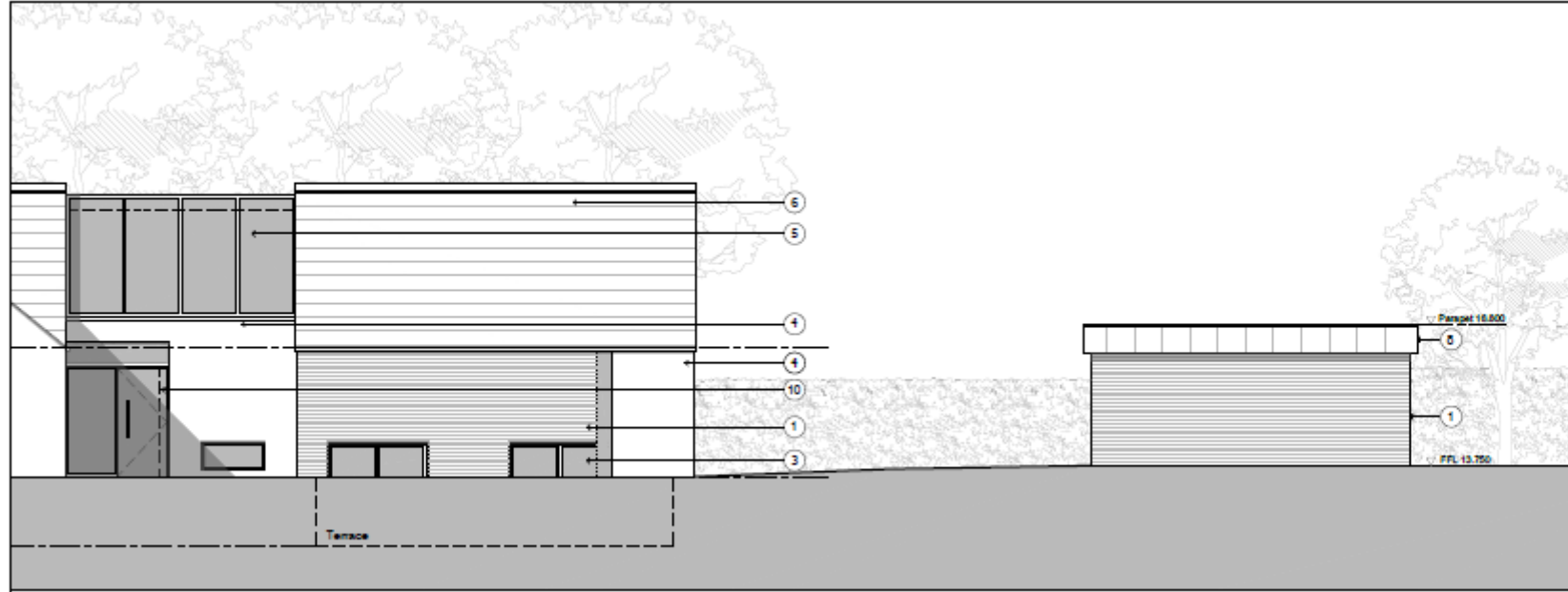
Scale:
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NO

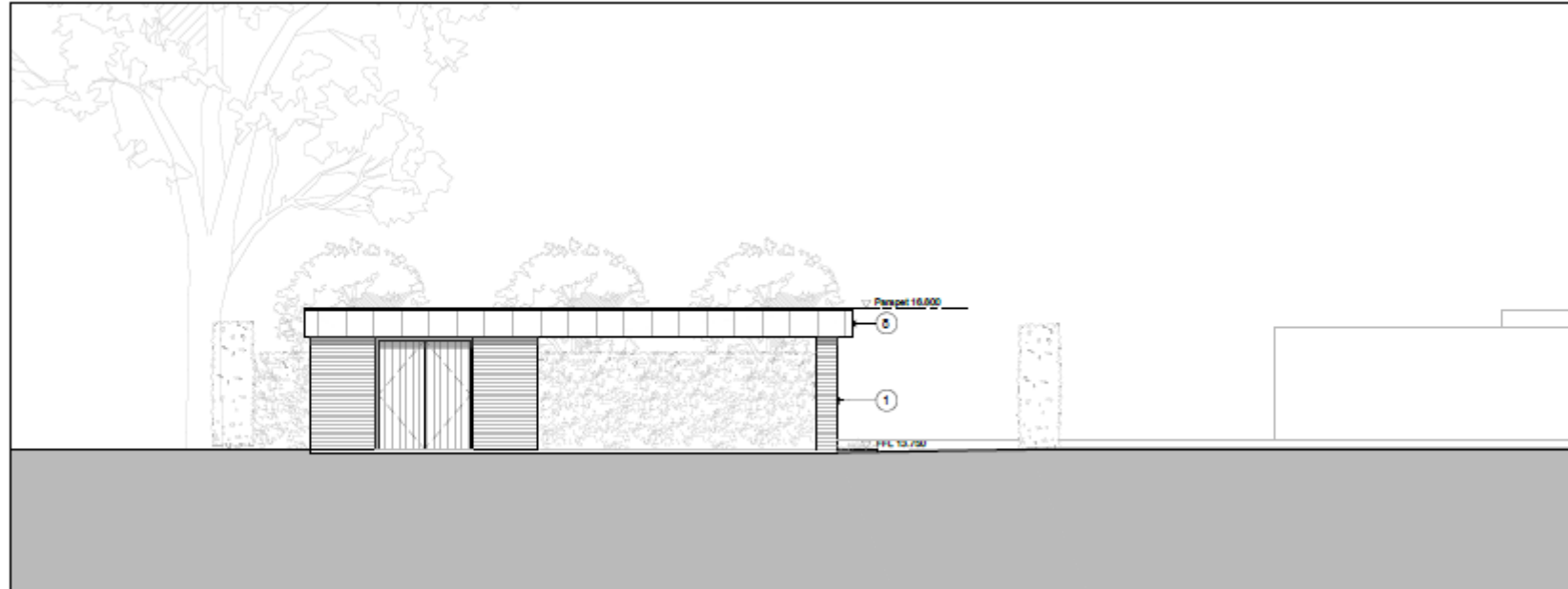
NO	DATE	ISSUE	DRAWING NUMBER	STATUS
18011	06/06/20	Planning	111	PO1

Proposed First Floor Plan

Proposed car port

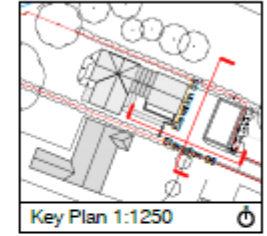


Elevation 06 - Carport Front Elevation



Elevation 05 - Carport Rear Elevation

Do not scale from this drawing
 Drawings to be used in conjunction with the specification document
 Contractors to check all dimensions on drawings with the architect's office if any discrepancies arise to avoid confusion of any kind



Key Plan 1:1250

- Material key:
- 1 Facing brickwork.
 - 2 Glazed windows.
 - 3 Bifold doors.
 - 4 Render.
 - 5 Glazed roof.
 - 6 Flat roof tile.
 - 7 Metal flue for log burner.
 - 8 Seamed zinc parapet.
 - 9 Timber gable.
 - 10 Glazed entrance door.
 - 11 Sliding patio doors with Juliet balcony.

PO1 18011 Revised scheme showing proposed carport and garden store
 18011 06/04/20

Vincent & Brown

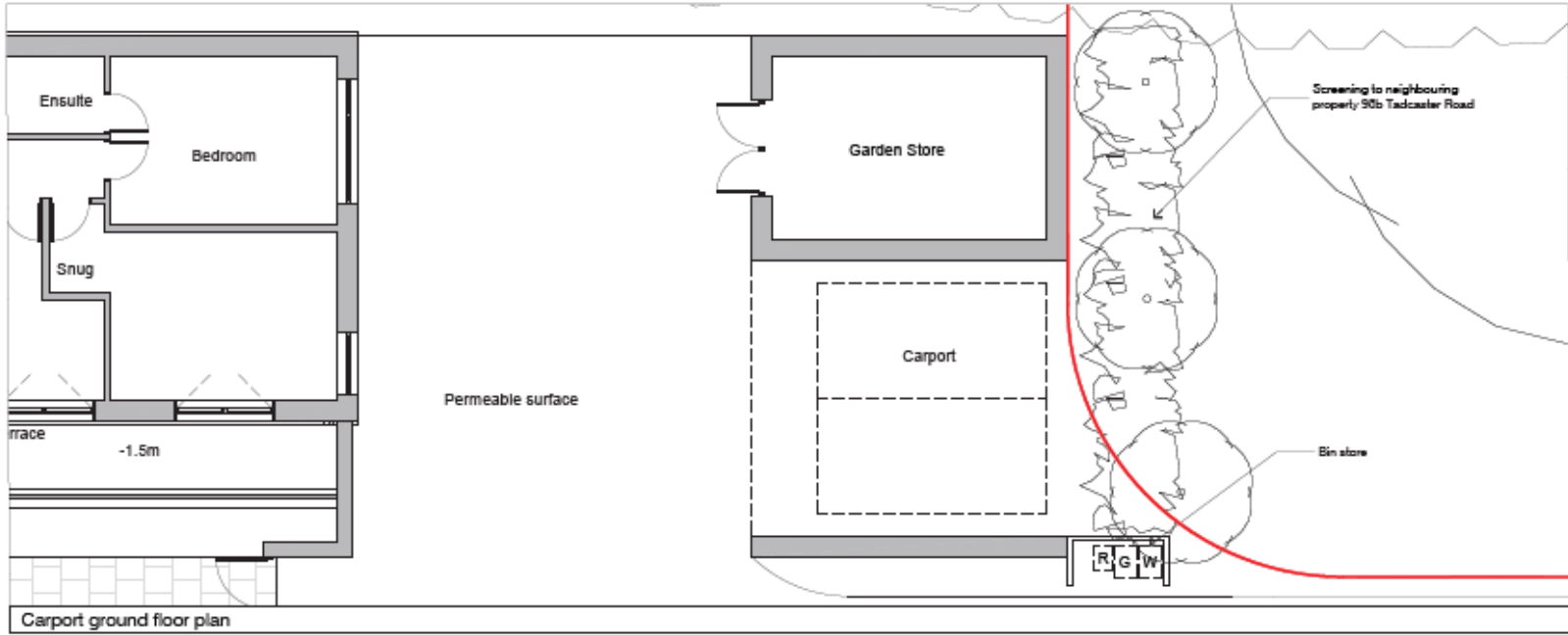
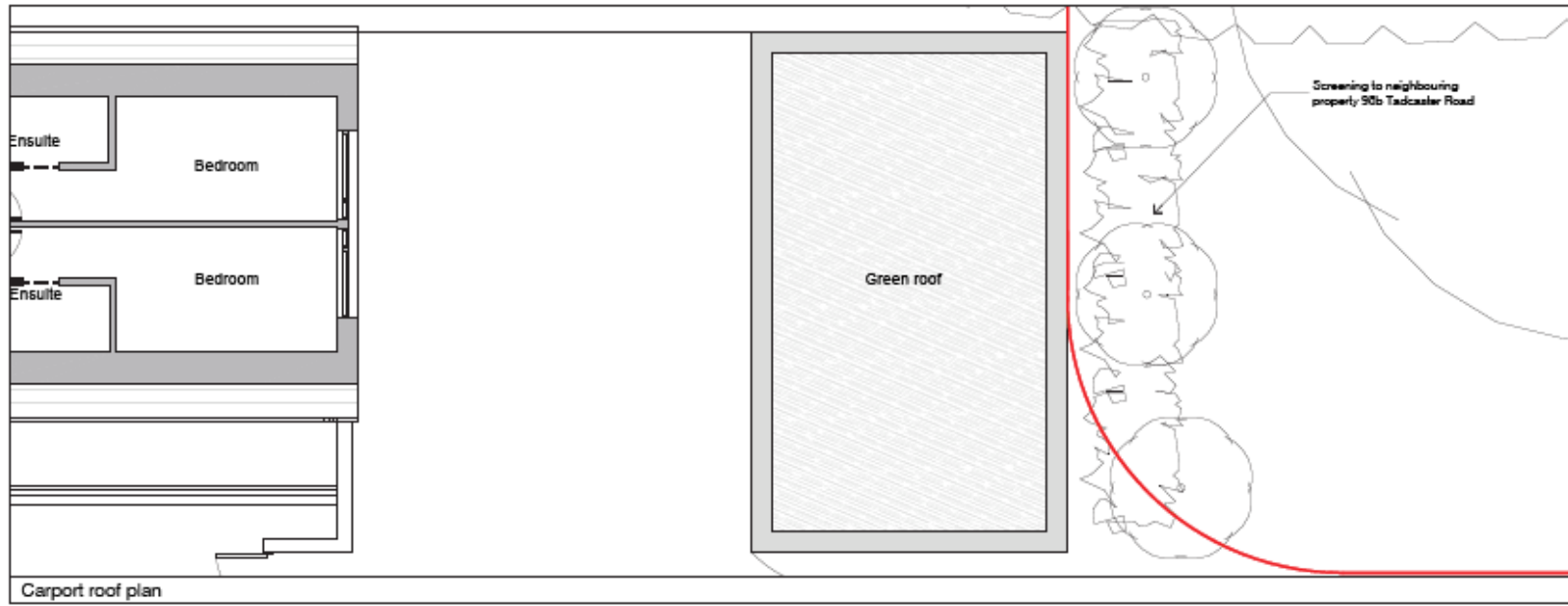
Studio 12, Millkirkway Business Park
 One Ball Lane, Rushmore, York, YO21 2EQ
 t: 01904 738811 e: info@vincentandbrown.com

Project:
 Proposed Development
 985 Tadcaster Road
 Drawing:
 Proposed Elevations
 Carport and Garden Store

Scale:
 1:100 @ A3

Job number	Date	Issue	Drawing number	Scale
18011	06/04/20	Planning	135	PO1

Car Port floor plan



Do not submit this drawing
Drawing to be used in conjunction with the approved documents
Contractor to check all dimensions on site and notify the architect of any discrepancies prior to commencement of the works

Key Plan 1:1250

PLN 20/06/20 Permitted scheme following pre-application advice
Project No: 180211

Vincent & Brown
10 Water 12, 14 & 16 Bridge Business Park
100 East Lane, Bridge Street, York YO1 1DD
01904 770000 or info@vincentandbrown.com

Project:
Proposed Development
98b Tadcaster Road

Phase:
Proposed Carport Plans

Scale:
1:100 @ A3

PLN number	date	status	drawing number	version
180211	06/06/20	Planning	115	P01

Site from rear of 98B



100B adjacent



Site access
(98 Tadcaster Road
to right)

